



OPEN MEETING

REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

**Monday, May 13, 2024 – 1:30 p.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions virtually using one of the following options:

1. Join the committee meeting via a Zoom link at: <https://us06web.zoom.us/j/93156707417> or by calling 669-900-6833 Webinar ID:93156707417.
2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Your name and unit number must be included.

NOTICE AND AGENDA

This Meeting May Be Recorded

1. Call Meeting to Order
2. Approval of the Agenda
3. Approval of the Meeting Report for April 08, 2024
4. Remarks of the Chair
5. Member Comments - (*Items Not on the Agenda*)
6. Response to Member Comments
7. Department Head Update
8. Consent Calendar: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
 - a. Over-The-Counter Variances – None
9. Variance Requests
 - a. 3412-A: Variance to Install a Patio Enclosure on an Existing Patio

Third Architectural Control and Standards Committee
Regular Open Meeting
May 13, 2024
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10. Items for Discussion and Consideration
 - a. Revision to Standard 47: Bathroom Splits
 - b. Discussion Enact Standard 41C: Solar Panels, Carports and Patio Covers
11. Items for Future Agendas
 - a. Revision to Standard 11A: Flooring for Second and Third Floor Manors & the Elimination of the Third Laguna Hills Mutual Interior Hard-Surface Flooring Complaint Rules
 - b. Revision to Standard 34: Windows & Window Attachments
 - c. Third Mutual Resale Inspections: Roles and Responsibilities
12. Committee Member Comments
13. Date of Next Meeting: Monday, June 10, 2024 at 1:30 p.m.
14. Adjournment

*A quorum of the Third Board or more may also be present at the meeting.

Jim Cook, Chair
Alan Grimshaw, Manor Alterations Manager
Telephone: 949-597-4616



OPEN MEETING

**REPORT OF THE REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, April 08, 2024 – 1:30 p.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

REPORT

COMMITTEE MEMBERS PRESENT: Jim Cook – Chair, Reza Karimi, Nathaniel Ira Lewis, Brad Rinehart, Advisor: Lisa Mills

COMMITTEE MEMBERS ABSENT: Mike Plean (Advisor-Excused), Michael Butler (Advisor-Excused)

OTHERS PRESENT: S.K. Park

STAFF PRESENT: Bart Mejia – Maintenance & Construction Assistant Director, Gavin Fogg – Manor Alterations Supervisor, Laurie Chavarria – Senior Management Analyst, David Rudge – Inspector II, Sandra Spencer – Administrative Assistant, Josh Monroy – Manor Alterations Coordinator

1. Call Meeting to Order

Chair Cook called the meeting to order at 1:30 p.m.

2. Approval of the Agenda

Hearing no objection, the agenda was approved by unanimous consent.

3. Approval of the Meeting Report for March 11, 2024

Hearing no objection, the meeting report was unanimously approved as written.

4. Remarks of the Chair

Chair Cook advised members that the committee continues to update standards. He mentioned improvements to the resale inspection process for First inspections, including listing all the permitted alterations so that new buyers are better informed of their responsibilities for all previous alterations.

5. Member Comments - (Items Not on the Agenda)

- A member commented on a problem she's having, with overflow drainage coming from the sidewalk and roof gutters which is causing discoloration in her walkway. She believes the issue could be resolved by having the drainage go under the sidewalk. Secondly, she wanted to know how she could extend and enclose her patio to not let in critters.

6. Response to Member Comments

- The committee informed the member that Manor Alterations staff will meet with her and do a site inspection. She was also informed that the HOA is responsible for drainage issues. The member would only be responsible for sidewalk and patio replacement but depending on the scope of work it might require a variance approval.

7. Department Head Update

None.

8. Consent Calendar: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

- a. **Over-The-Counter Variances** – Hearing no objection, the Over-The-Counter Variance report was approved by unanimous consent.

3382-O: Request to Wall Mount Condenser at PTAC Sleeve Location Below Top of Balcony Rail.

3451-C: Request to Build Laundry Room in Garage.

9. Variance Requests

- a. 5232: Variance to Install 30'x10' Aluminum Trellis on CAUA Patio with 2-Foot Overhang

A motion was made to approve the variance as described. The variance was approved by unanimous consent.

10. Items for Discussion and Consideration

a. Revision to Standard 37: Patio and Balcony Covers / Awnings

The committee requested the following revisions: Section 2.2. to read "Patio: A paved area that adjoins the manor at ground level which does not serve as a walkway." Section 3.4 to read "Color options for aluminum awnings are white, almond or be an approved color under the existing Third Mutual Exterior Paint scheme. Color options for vinyl materials are white, beige, adobe or be an approved color under the existing Third Mutual Exterior Paint scheme."

A motion was made to recommend the Third Board approve the standard with the suggested edits. Hearing no objection, the motion was approved by unanimous consent.

b. Mutual Consent Process Presentation

The committee requested the following revisions: Adding an extra step for member (seller)/ successor trustee who authorize their realtor or authorized agent to act on their behalf to get any information that would normally be given to them.

11. Items for Future Agendas

- Revision to Standard 11A: Flooring for Second and Third Floor Manors & the Elimination of the Third Laguna Hills Mutual Interior Hard-Surface Flooring Complaint Rules
- Enact Standard 41C: Solar Panels, Carports and Patio Covers
- Revision to Standard 34: Windows & Window Attachments

12. Committee Member Comments

- None.

13. Date of Next Meeting: Monday, May 13, 2024 at 1:30 p.m.

14. Adjournment

The meeting was adjourned at 2:18 p.m.


Jim Cook, Chair

Jim Cook, Chair
Alan Grimshaw, Manor Alterations Manager
Telephone: 949-597-4616

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Third ACSC – Monday, May 13, 2024

Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	3412-A	Install a Patio Enclosure on an Existing Patio	<p><u>GENERAL NOTES:</u></p> <ul style="list-style-type: none">• 3412-A is a one-unit Manor.• Install a Patio Enclosure on an Existing Patio. <p>Staff Recommendation: Approve</p>

(*) The following attachments are included for your review and reference.

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution

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Manor 3412-A



Laguna Woods Village

Attachment 1
Application FormMANOR # 3412-A☐ ULWM☒ TLHM

Variance Request Form

SA 21915408

Model: <u>Malaga</u>	Plan: <u>P42</u>	<u>4/15/24</u>
Member Name: <u>[REDACTED]</u>	Signature: <u>[REDACTED]</u>	
Phone: <u>[REDACTED]</u>	E-mail: <u>[REDACTED]</u>	
Contractor Name/Co: <u>Jeff Lin - J Lin Remodeling S</u>	Phone: <u>734-560-4133</u>	E-mail: <u>jefflin6@yahoo.com</u>
Mailing Address: (to be used for official correspondence) <u>3412 Calle Azul Laguna Woods, CA 92637</u>		

Description of Proposed Variance Request ONLY:

Buid a patio enclosure on existing concreted slab, underneath existing patio cover.

Dimensions of Proposed Variance Alterations ONLY:

FOR OFFICE USE ONLY

RECEIVED BY: _____ DATE RECEIVED: 04/15/24 Check# CC BY: SH

Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received: <input checked="" type="checkbox"/> Drawing of Existing Floor Plan <input checked="" type="checkbox"/> Drawing of Proposed Variance <input checked="" type="checkbox"/> Dimensions of Proposed Variance <input checked="" type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	Meetings Scheduled: Third AC&S Committee (TACSC): _____ United AC&S Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____

ATTACHMENT 2
PHOTOS

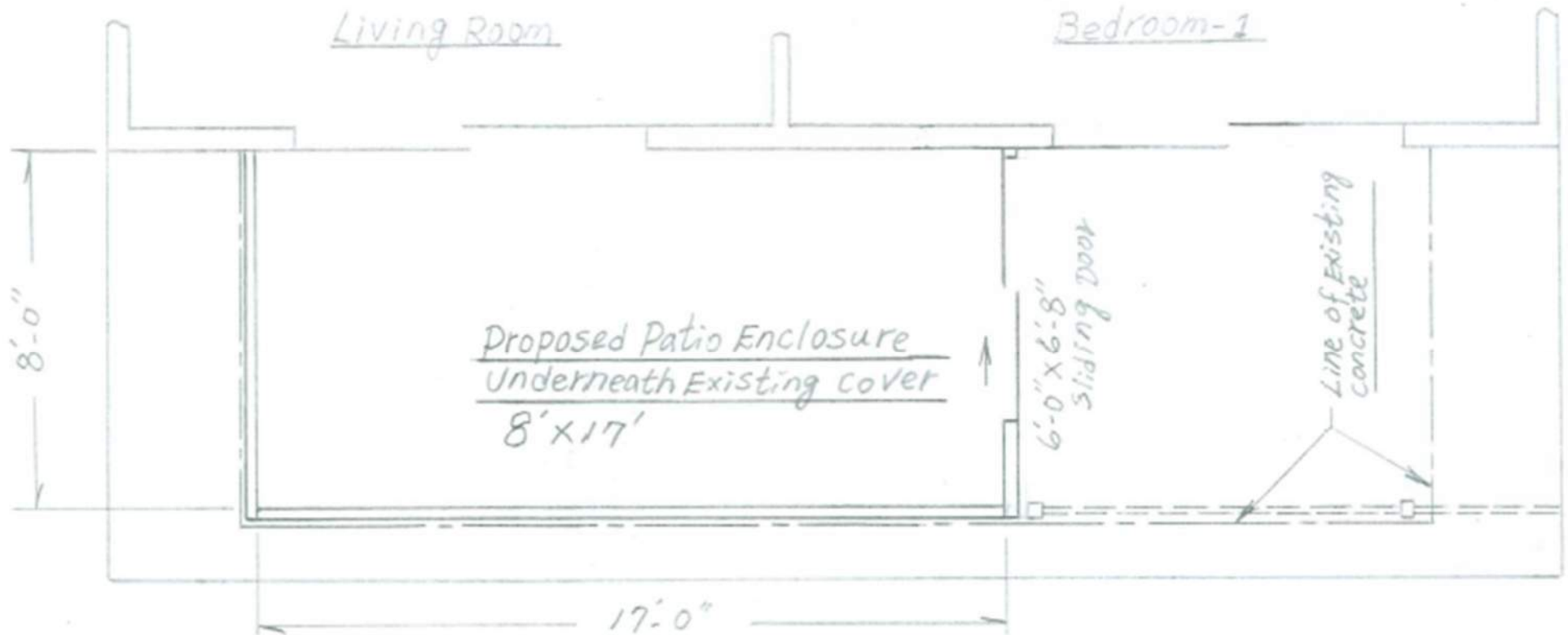
3412-A



ATTACHMENT 2
PHOTOS

3412-A

3412-A Proposed Patio Enclosure Plan
1"=4'



ATTACHMENT 2
PHOTOS

3412-A



ATTACHMENT 2
PHOTOS

3412-A



ATTACHMENT 2
PHOTOS

3412-A



ATTACHMENT 2
PHOTOS

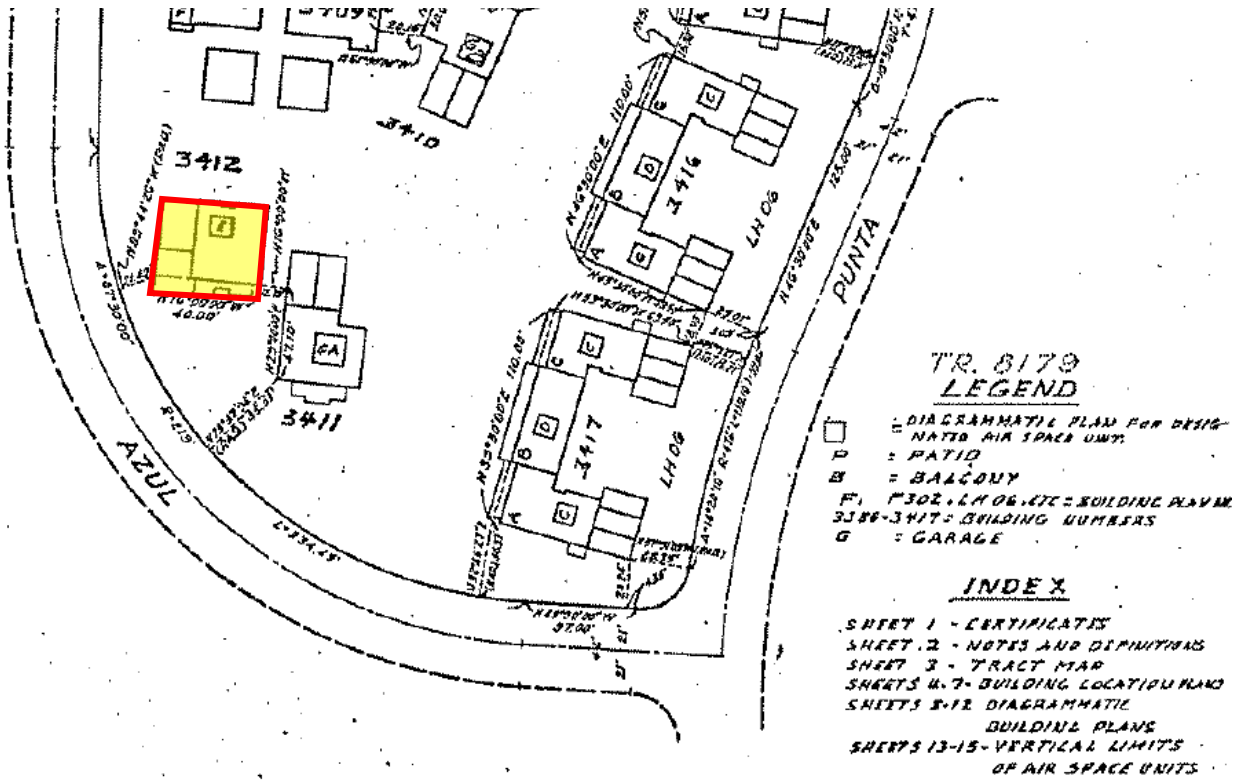
3412-A



ATTACHMENT 3 AERIAL



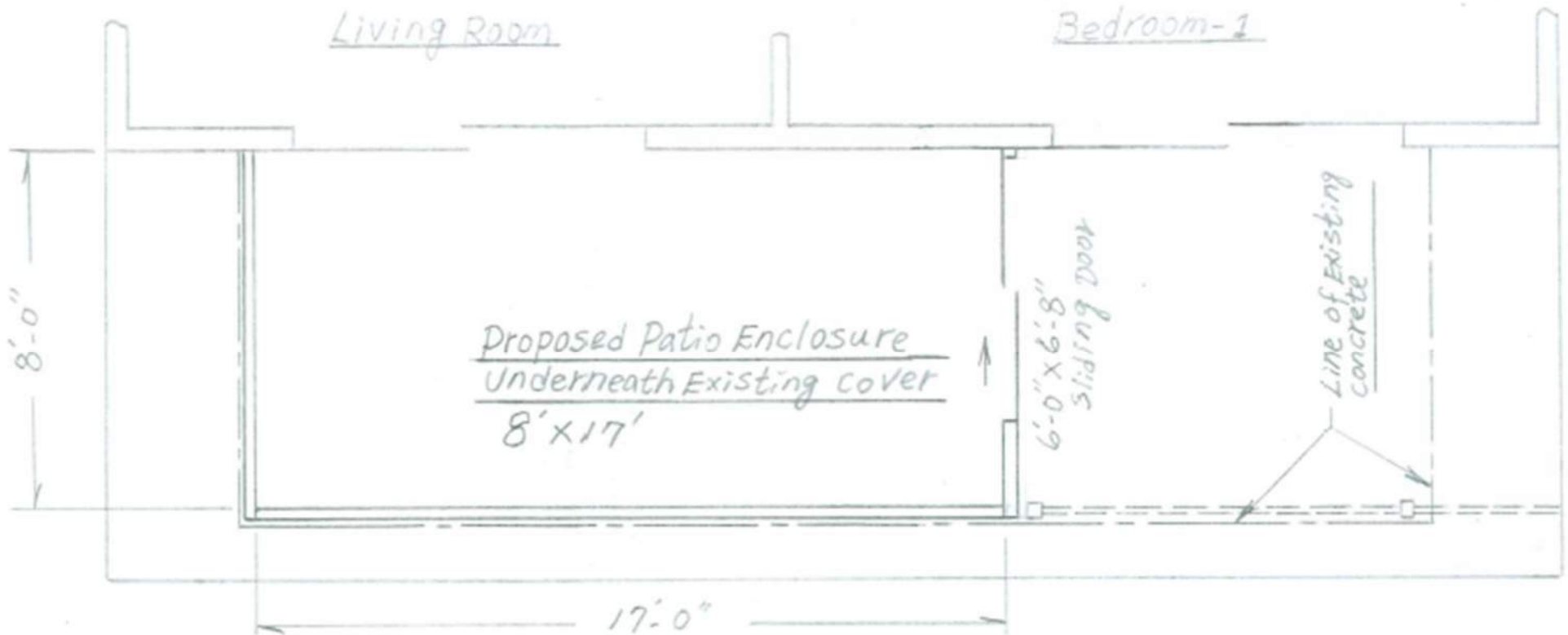
ATTACHMENT 3 LOCATION MAP



ATTACHMENT 4
FLOOR PLANS

3412-A

3412-A Proposed Patio Enclosure Plan
1"=4'



CONDITIONS OF APPROVAL

Manor: **3412-A**

Variance Description: **Install a Patio Enclosure on an Existing Patio**

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. All material to be per manufacturer's specifications and installation instructions.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.

- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are identified as "Third Laguna Hills Mutual Color Selections" at Resident Services, located at the Community Center first floor.

See next page for General Conditions.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 3412-A Calle Azul, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.3. All costs for maintenance, repair, renovation, replacement or removal of the

improvement, present and future, are the responsibility of the Property's Member at 3412-A Calle Azul and all future Mutual Members at 3412-A Calle Azul.

- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. The expiration date of the Variance is 180 days from the Notice of Approval of the Variance issued by Manor Alterations.
- G.10. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's

Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

- G.11. All construction, including demolition, must be completed within 180 days or 6 months from the Notice of Approval of the Variance issued by Manor Alterations.
- G.12. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.13. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.14. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.15. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.16. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.17. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

- G.18. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.21. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.23. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



RESOLUTION 03-24-XX

Variance Request

WHEREAS, Member located at 3412-A Calle Azul, a Malaga style manor, requests Architectural Control and Standards Committee approval of a variance to install a patio enclosure on an existing patio; and

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on May 13, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to install a patio enclosure on an existing patio;

NOW THEREFORE BE IT RESOLVED, on May 21, 2024, the Third Laguna Hills Mutual Board hereby approves the request to install a patio enclosure on an existing patio; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3412-A Calle Azul and all future Mutual Members at 3412-A Calle Azul; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

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STAFF REPORT

DATE: May 13, 2024
FOR: Architectural Control and Standards Committee
SUBJECT: Revision to Standard 47: Bathroom Splits

RECOMMENDATION

Staff recommends that the Third Architectural Control and Standards Committee (ACSC) endorse the revised Standard 47: Bathroom Splits.

BACKGROUND

The ACSC initiated a review of the current Standard 47: Bathroom Splits (Attachment 1) and proposed revisions to the Standard intended to bring it up to current industry standards and improved designs. Standard 47 was last enacted in February 2018, via Resolution 03-18-22 (Attachment 2).

DISCUSSION

The suggested modifications to this standard are recommended in order to allow for: 1.) Greater flexibility in the design process 2.) Clarification of responsibilities and work flow process 3.) Specifying compliance with all state and local building codes.

FINANCIAL ANALYSIS

There is no financial impact to the mutual for the recommended action.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director
Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Current Standard 47: Bathroom Splits
Attachment 2 – Current Resolution 03-18-22
Attachment 3 – Redlined Revised Standard 47: Bathroom Splits
Attachment 4 – Final Draft Standard 47: Bathroom Splits
Attachment 5 – Proposed Resolution 03-24-XX



SECTION 47 BATHROOM SPLITS

JANUARY 2018, RESOLUTION 03-18-22

1.0 GENERAL REQUIREMENTS

See Alteration Standard Section 1.0 General Requirements

2.0 APPLICATIONS

- 2.1 Bathroom splits are prohibited in Manors with two bathrooms.
- 2.2 Manors with two bathrooms may reconfigure walls and doors only within the same foot print.
- 2.3 Manors with one full bathroom may split bathroom into two bathrooms as follows:
 - a. The original footprint may be extended up to three feet, in one direction.
 - b. The extension of a bathroom footprint may not involve a load bearing wall or supporting columns.
 - c. The extension of a bathroom footprint may not extend into adjacent hallways.
- 2.4 Prior to connecting into any plumbing work, the **waste line is to be inspected by the Mutual at the Member(s) expense.**
- 2.5 Detailed architectural or engineered plans, including plumbing plans for all piping for bathroom split alterations, shall be submitted to the Alterations Division for approval. These plans shall include: pipe penetrations, location of plumbing connections and vents, pipe sizes, and types. As-builts shall be submitted if any changes are made to the approved plans.
- 2.6 Sewer line connections will consist of a minimum 2" waste line tied into a minimum 2" waste line. All exposed existing cast iron waste lines and connections shall be replaced with ABS.
- 2.7 All water supply lines shall be of Type M copper; minimum 1/2" diameter.
- 2.8 All pressure lines shall be securely strapped to prevent movement or knocking.
- 2.9 All piping in bathrooms with adjacent Manors shall be insulated for sound reduction, including penetrations thorough framing.



- 2.10 The Mutual Member assumes all responsibility for any damage that may occur due to construction.

3.0 ADDITIONAL REQUIREMENTS FOR INSTALLATIONS

- 3.1 Alterations involving common walls shall be fire rated per current California Building Code.
- 3.2 All exhaust fans must be installed per the Exhaust Fan/Vent Installation Standard.
- 3.3 All penetrations through walls shall be properly sealed to prevent water intrusion.
- 3.4 The waterproof integrity of the roof, including the selection and use of appropriate flashing and sealers, must be maintained.
- 3.5 Roof tie-ins for vents on PVC Cool Roofs must be made by an approved roofing contractor. A Roofing Contractor Verification Form will be required prior to the issuance of a permit.
- 3.6 Cutting or altering roof trusses for the installation of vents in attic spaces are strictly prohibited.

4.0 OBLIGATIONS

- 4.1 Member is responsible for damages to roof or other structures caused by any alteration.
- 4.2 The Mutual Member is responsible for, and will bear all costs associated with clean-up or repair of Mutual owned or controlled property made necessary by or resulting from the alteration.

RESOLUTION 03-18-22**New Alteration Standard Section 47 – Bathroom Splits**

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary;

WHEREAS, the Architectural Controls and Standards Committee has reviewed numerous Variance Requests to remodel bathrooms, specifically to create a second bathroom in the footprint of the original bathroom, this type of alteration is commonly referred to as a bathroom split;

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to create a new Standard for these alterations, eliminating the need for Members to apply for a Variance Request for a common alteration.

NOW THEREFORE BE IT RESOLVED, February 20, 2018, that the Third Board of Directors of this Corporation hereby adopts the following Standard Section 437 of the Alteration Standards for Bathroom Splits;



STANDARD 47: BATHROOM SPLITS

JANUARY 2018, RESOLUTION 03-18-22
~~[DATE], RESOLUTION 03-24-XX~~

1.0 GENERAL REQUIREMENTS

~~SEEe Alteration Standard~~ **STANDARD Section 1.0 General Requirements**

2.0 DEFINITIONS

2.1 Bathroom split: The creation of an additional bathroom, within the interior confines of a manor and is adjoined to or shares space with an existing bathroom. See Section 5.0 “sample floorplan”.

~~2.03.0~~ **APPLICATIONS**

~~2.13.1~~ Current city-adopted building codes will always take precedence. Bathroom splits are prohibited in Manors with two bathrooms.

3.2 A bathroom split may be added to a manor under the following conditions: ~~Manors with two bathrooms may reconfigure walls and doors only within the same foot print.~~

- a. Only non-structural or non-load bearing walls may be altered or removed.
- b. The new design layout will not change or impact the total number of existing designated sleeping rooms to the unit.
- c. All alterations to comply with current California Plumbing and Building Codes.
- ~~2.2~~d. For all designs that include more than two bathrooms, a licensed engineer’s report verifying that this design will not exceed the design capacity of the building plumbing system currently servicing this manor will be required.

~~2.33.3~~ Prior to commencing work, a **Mutual Plumbing Waste Line Inspection** is required at the area(s) being impacted by the alteration. The member is responsible for requesting the inspection and all applicable costs for service. ~~Manors with one full bathroom may split bathroom into two bathrooms as follows:~~

a. The member becomes responsible for any subsequent repairs to the building's plumbing systems if any alterations begin prior to the Mutual's inspections. The original footprint may be extended up to three feet, in one direction.

b. The extension of a bathroom footprint may not involve a load-bearing wall or supporting columns.

c. The extension of a bathroom footprint may not extend into adjacent hallways.

3.4 Detailed and scaled architectural or engineered plans shall be submitted to Manor Alterations for review and approval. Plans to include but not limited to the following:

a. Architectural plans

b. Engineering plans – as needed

c. All connection points to existing system

d. All piping types and sizes

2.4 Prior to connecting into any plumbing work, the waste line is to be inspected by the Mutual at the Member(s) expense.

2.53.5 Final "as built" plans to be submitted to Manor Alterations at project completion. Detailed architectural or engineered plans, including plumbing plans for all piping for bathroom split alterations, shall be submitted to the Alterations Division for approval. These plans shall include: pipe penetrations, location of plumbing connections and vents, pipe sizes, and types. As-builts shall be submitted if any changes are made to the approved plans.

2.63.6 All pressure lines shall be securely strapped to prevent movement or knocking. Sewer line connections will consist of a minimum 2" waste line tied into a minimum 2" waste line. All exposed existing cast iron waste lines and connections shall be replaced with ABS.

2.73.7 A separate furred sound attenuation wall will be required where new layout comes in contact with an adjoining manor demising wall. Details to be include with plan submittal. All water supply lines shall be of Type M copper; minimum 1/2" diameter.

2.83.8 All vents and or exhaust fans must be installed per Third Mutual Standard 9: Exhaust Fan Installations All pressure lines shall be securely strapped to prevent movement or knocking.

3.9 All PVC flat roof work involving penetrations and tie-ins for vent(s) and or exhaust fan installations must be made by a mutual approved roofing vendor.

a. Verification of any existing roof warranty is also required.

b. If any roof still has an active roof warranty, the member must use the roofing contractor that is providing this warranty.

c. An approved Roofing Contractor Verification Form is required prior to issue of Mutual Consent.

d. Member is responsible for all roofing costs and coordination with said approved roof vendor.

~~2.9 All piping in bathrooms with adjacent Manors shall be insulated for sound reduction, including penetrations thorough framing.~~

~~2.103.10 A licensed structural engineer's stamped drawings must be included in submittal documents if design involves cutting or altering roof trusses or any building structural elements. The Mutual Member assumes all responsibility for any damage that may occur due to construction.~~

~~3.0~~ **ADDITIONAL REQUIREMENTS FOR INSTALLATIONS**

~~3.1 Alterations involving common walls shall be fire rated per current California Building Code.~~

~~3.2 All exhaust fans must be installed per the Exhaust Fan/Vent Installation Standard.~~

~~3.3 All penetrations through walls shall be properly sealed to prevent water intrusion.~~

~~3.4 The waterproof integrity of the roof, including the selection and use of appropriate flashing and sealers, must be maintained.~~

~~3.5 Roof tie-ins for vents on PVC Cool Roofs must be made by an approved roofing contractor. A Roofing Contractor Verification Form will be required prior to the issuance of a permit.~~

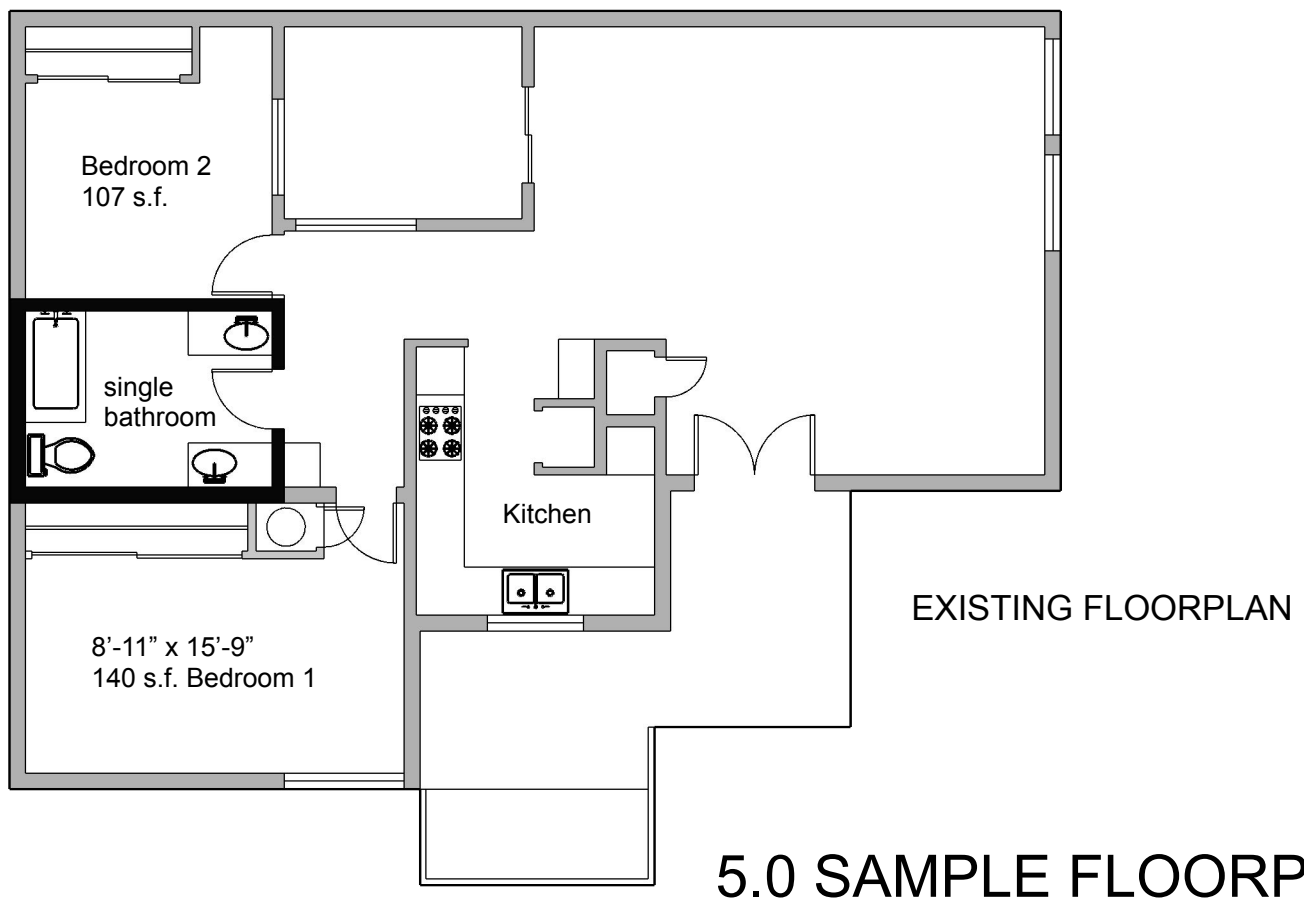
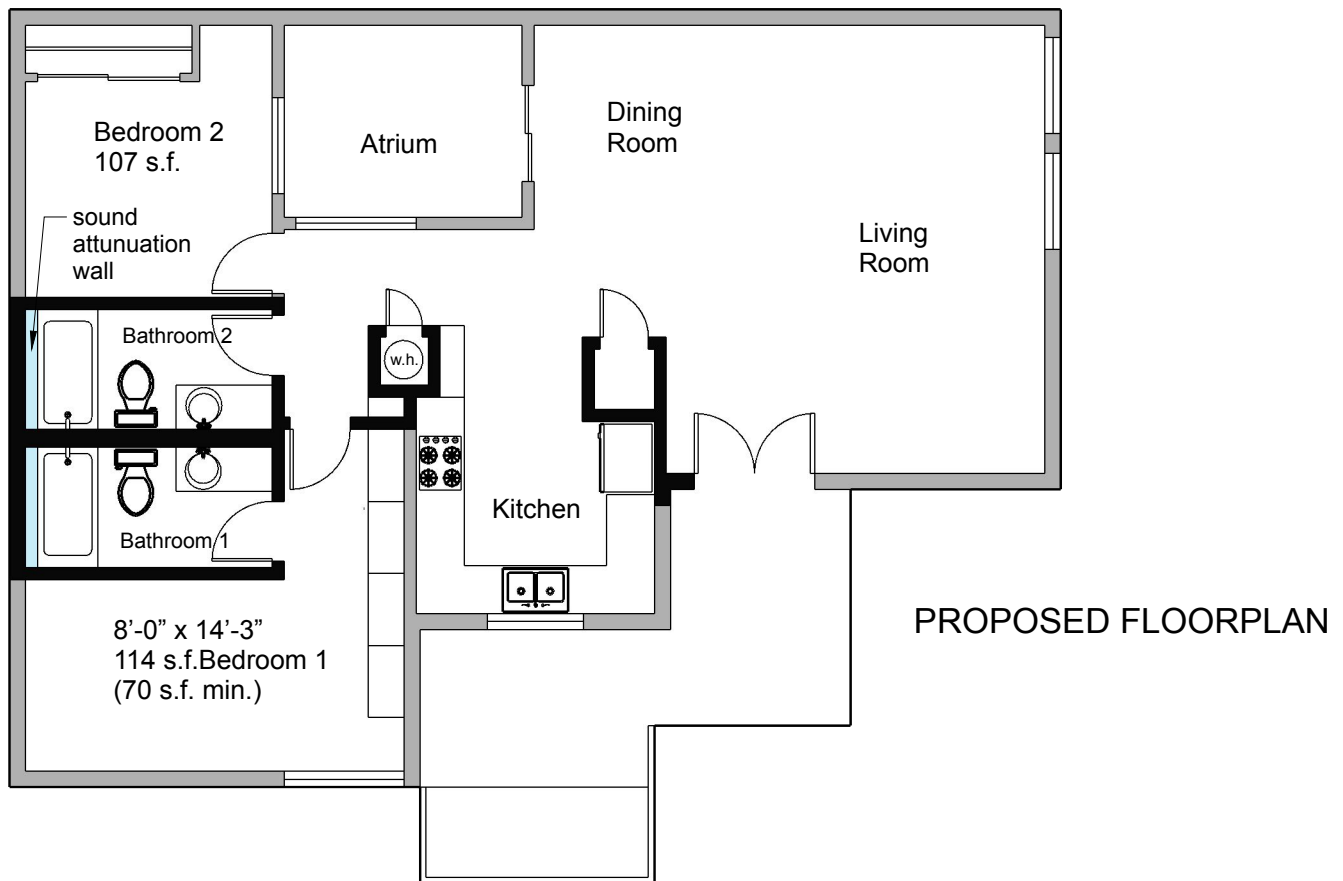
~~3.6 Cutting or altering roof trusses for the installation of vents in attic spaces are strictly prohibited.~~

4.0 OBLIGATIONS

4.1 Member is responsible for damages to roof or other structures caused by any alteration.

4.2 The ~~m~~Mutual ~~m~~Member is responsible for, and will bear all costs associated with clean-up or repair of ~~m~~Mutual owned or controlled property made necessary by or resulting from the alteration.

4.25.0 SAMPLE FLOOR PLAN (see attached)





STANDARD 47: BATHROOM SPLITS

JANUARY 2018, RESOLUTION 03-18-22
[DATE], RESOLUTION 03-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD 1: GENERAL REQUIREMENTS

2.0 DEFINITIONS

- 2.1 Bathroom split: The creation of an additional bathroom, within the interior confines of a manor and is adjoined to or shares space with an existing bathroom. See Section 5.0 “sample floorplan”.

3.0 APPLICATIONS

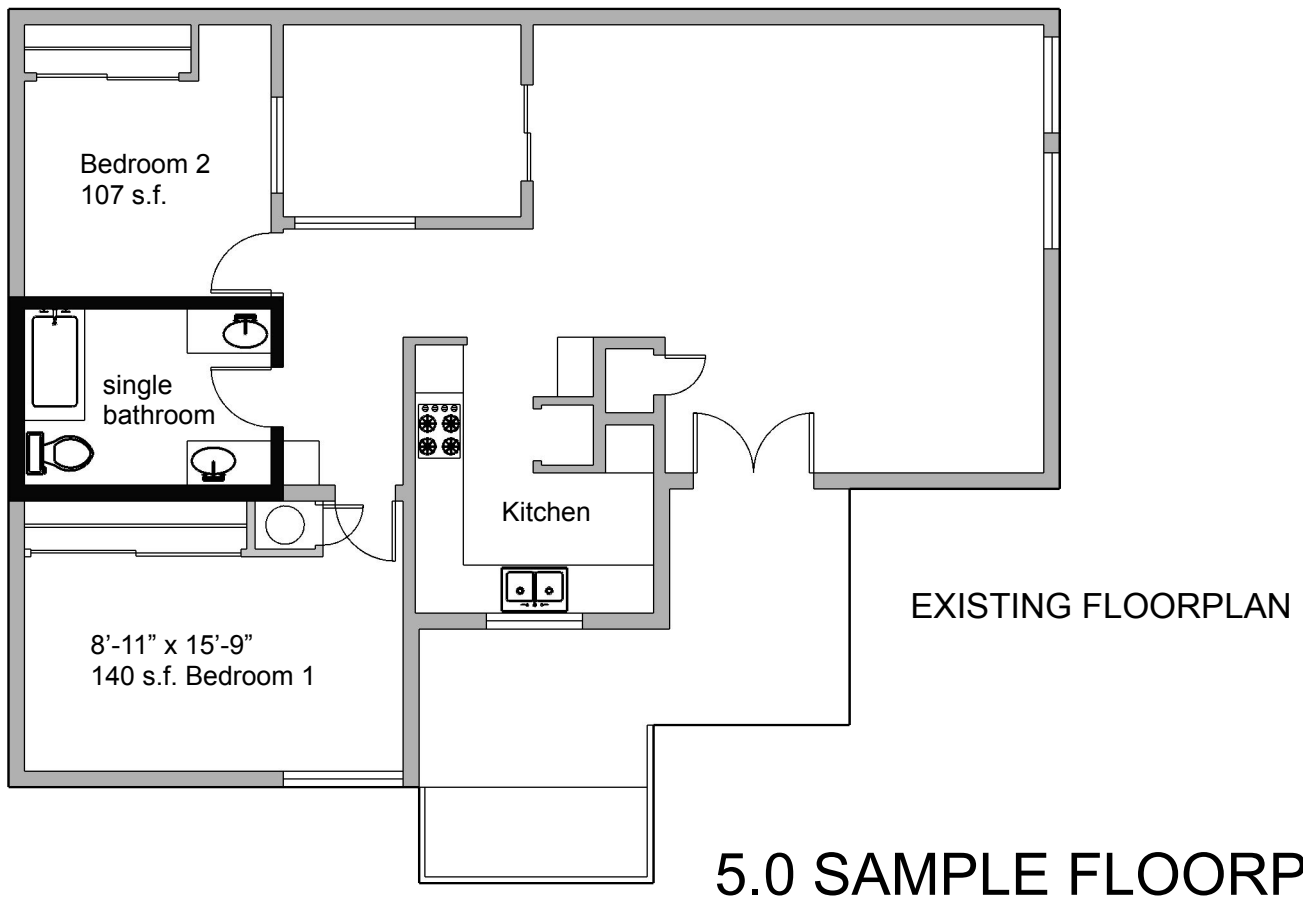
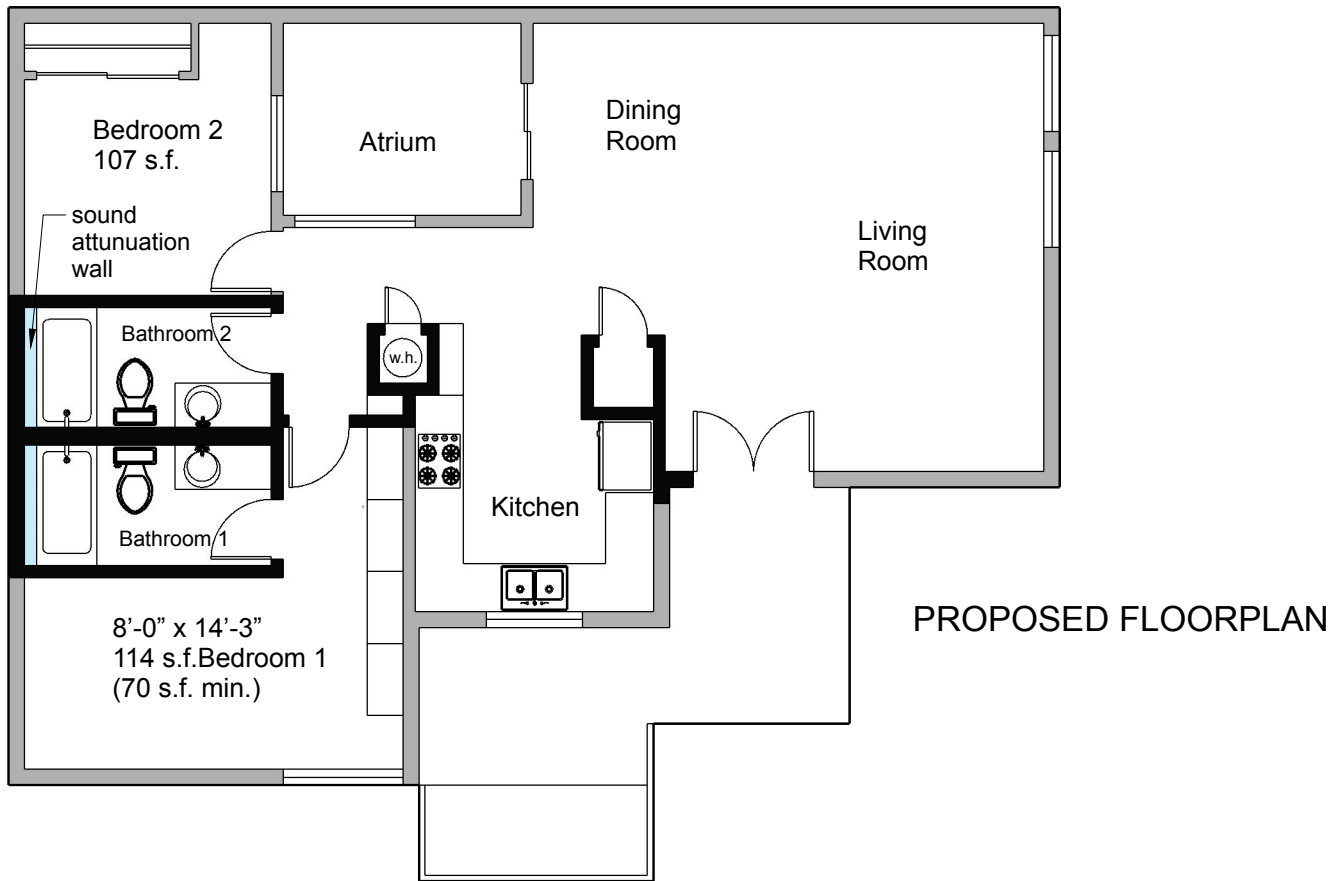
- 3.1 Current city-adopted building codes will always take precedence.
- 3.2 A bathroom split may be added to a manor under the following conditions:
- a. Only non-structural or non-load bearing walls may be altered or removed.
 - b. The new design layout will not change or impact the total number of existing designated sleeping rooms to the unit.
 - c. All alterations to comply with current California Plumbing and Building Codes.
 - d. For all designs that include more than two bathrooms, a licensed engineer’s report verifying that this design will not exceed the design capacity of the building plumbing system currently servicing this manor will be required.
- 3.3 Prior to commencing work, a **Mutual Plumbing Waste Line Inspection** is required at the area(s) being impacted by the alteration. The member is responsible for requesting the inspection and all applicable costs for service.
- a. The member becomes responsible for any subsequent repairs to the building’s plumbing systems if any alterations begin prior to the Mutual’s inspections.

- 3.4 Detailed and scaled architectural or engineered plans shall be submitted to Manor Alterations for review and approval. Plans to include but not limited to the following:
 - a. Architectural plans
 - b. Engineering plans – as needed
 - c. All connection points to existing system
 - d. All piping types and sizes
- 3.5 Final “as built” plans to be submitted to Manor Alterations at project completion.
- 3.6 All pressure lines shall be securely strapped to prevent movement or knocking.
- 3.7 A separate furred sound attenuation wall will be required where new layout comes in contact with an adjoining manor demising wall. Details to be include with plan submittal.
- 3.8 All vents and or exhaust fans must be installed per Third Mutual Standard 9: Exhaust Fan Installations
- 3.9 All PVC flat roof work involving penetrations and tie-ins for vent(s) and or exhaust fan installations must be made by a mutual approved roofing vendor.
 - a. Verification of any existing roof warranty is also required.
 - b. If any roof still has an active roof warranty, the member must use the roofing contractor that is providing this warranty.
 - c. An approved Roofing Contractor Verification Form is required prior to issue of Mutual Consent.
 - d. Member is responsible for all roofing costs and coordination with said approved roof vendor.
- 3.10 A licensed structural engineer’s stamped drawings must be included in submittal documents if design involves cutting or altering roof trusses or any building structural elements.

4.0 **OBLIGATIONS**

- 4.1 Member is responsible for damages to roof or other structures caused by any alteration.
- 4.2 The mutual member is responsible for, and will bear all costs associated with clean-up or repair of mutual owned or controlled property made necessary by or resulting from the alteration.

5.0 **SAMPLE FLOOR PLAN (see attached)**



RESOLUTION 03-24-XX

REVISE STANDARD 47: BATHROOM SPLITS

WHEREAS, the Third Laguna Hills Mutual recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Mutual recognized the need to revise Standard 47: Bathroom Splits;

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 47: Bathroom Splits as attached to the official minutes of this meeting; and

RESOLVED FURTHER, that Resolution 03-18-22 adopted February 20, 2018, is hereby superseded and canceled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

MAY INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.